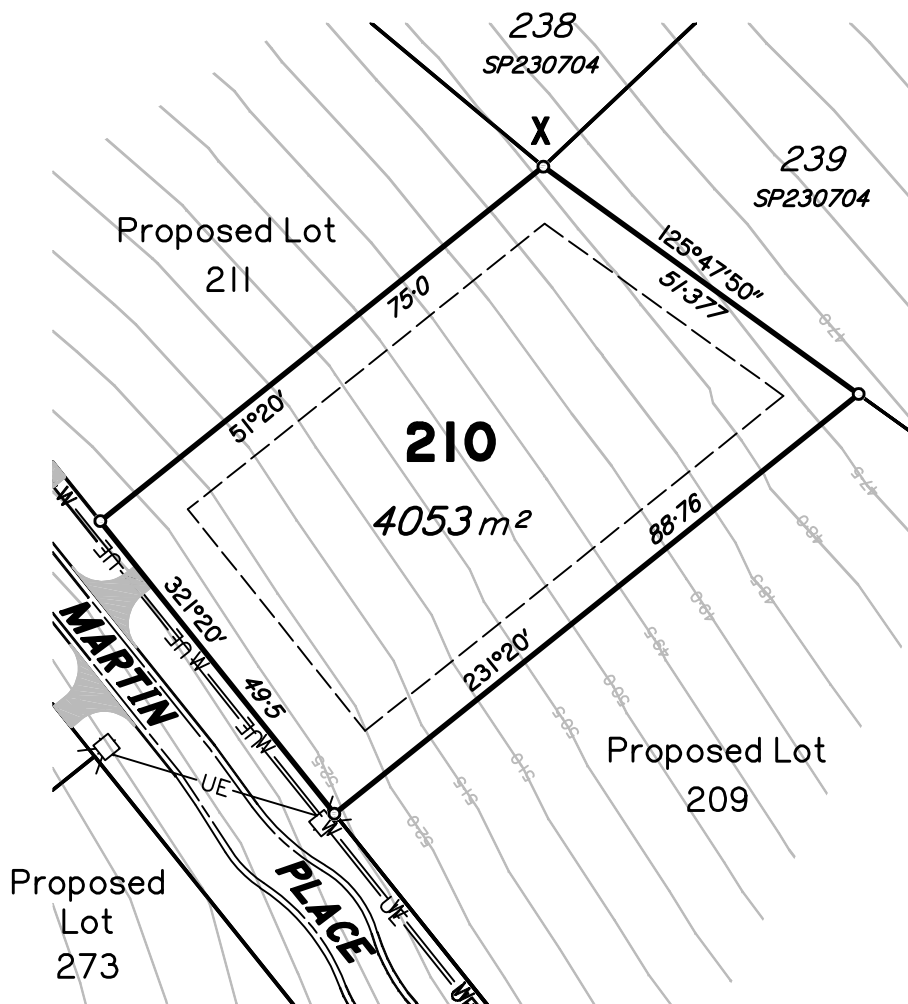


NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **210** (on SP230705)

MARTIN PLACE

TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:

From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 261°48'10" for a Distance of 92.149m to the Point of Commencement, then on a:
Bearing 125°47'50" for a Distance of 51.377m,
Bearing 231°20' for a Distance of 88.76m,
Bearing 321°20' for a Distance of 49.5m,
Bearing 51°20' for a Distance of 75.0m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:

Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

N H Volker & Co Pty Ltd
Consulting Surveyors
Land Development Consultants

PO Box 411, Beenleigh 4207
Phone: (07) 5543 8489 Fax: (07) 5543 8490
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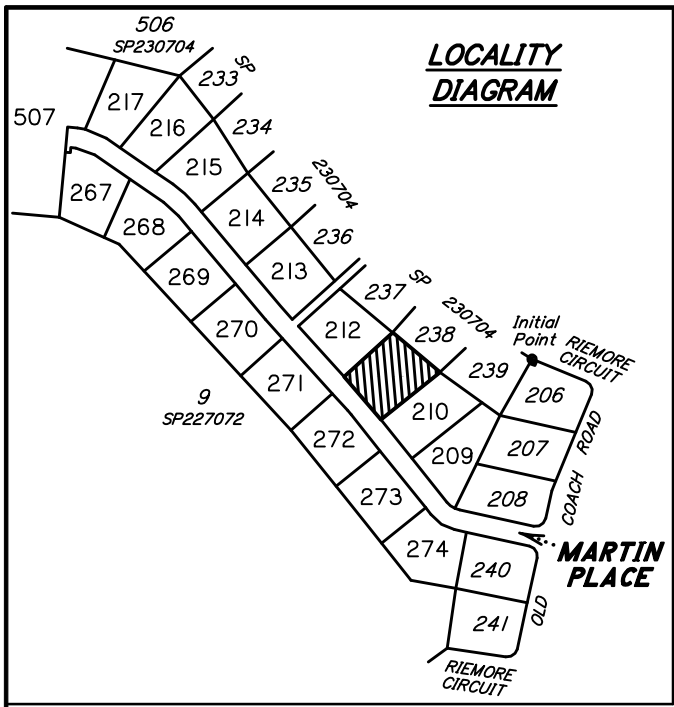
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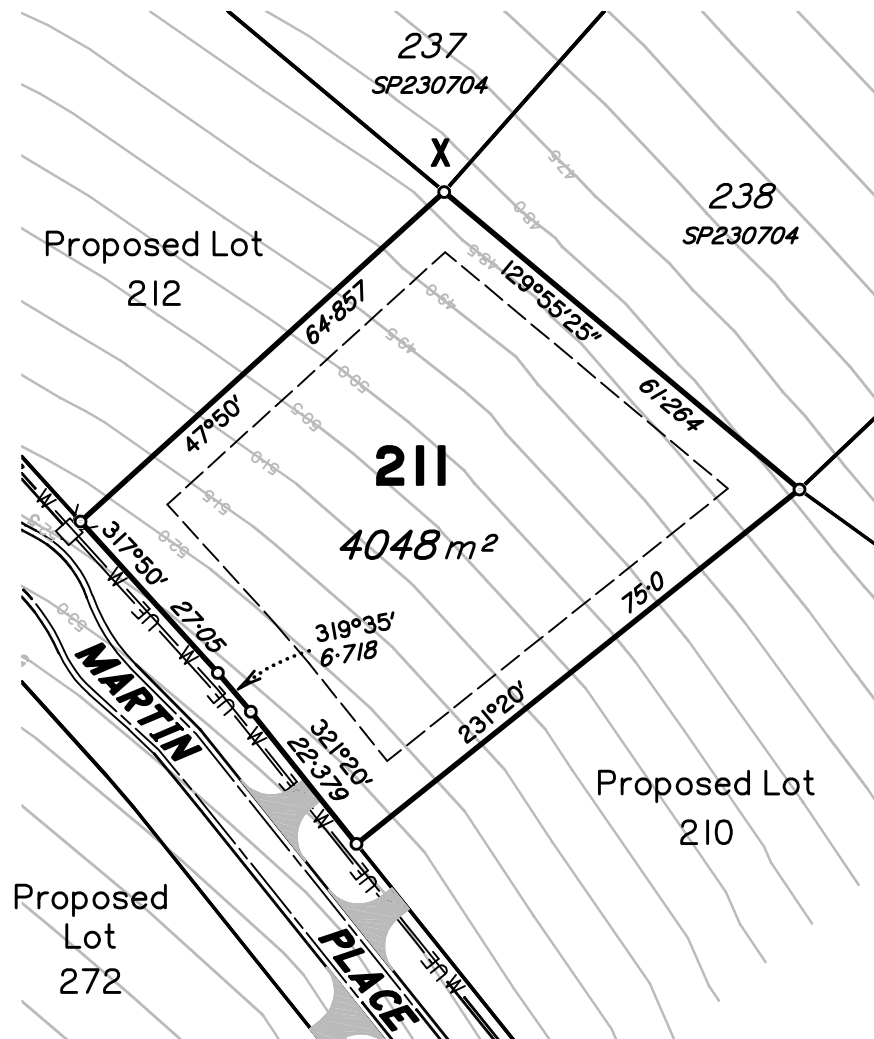
- SW— STORMWATER
- STORMWATER MANHOLE
- W— ROOFWATER
- W— WATER
- ☒ WATER SERVICE
- W—] WATER END CAP
- C— WATER CONDUIT
- UE— UNDERGROUND ELECTRICITY
- ☒ ELECTRICAL PILLAR
- T— TELECOMMUNICATIONS
- ☒ TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- ☼ STREET SIGN
- == KERB & CHANNEL
- ROAD CENTRELINE
- DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)





NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **211** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 280°43'40" for a Distance of 140:649m to the Point of Commencement, then on a:
Bearing 129°55'25" for a Distance of 61:264m,
Bearing 231°20' for a Distance of 75:0m,
Bearing 321°20' for a Distance of 22:379m,
Bearing 319°34'40" for a Distance of 6:718m,
Bearing 317°50' for a Distance of 27:05m,
Bearing 47°50' for a Distance of 64:857m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

N H Volker & Co Pty Ltd
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Land Development Consultants

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e-mail: nvolker@bigpond.net.au

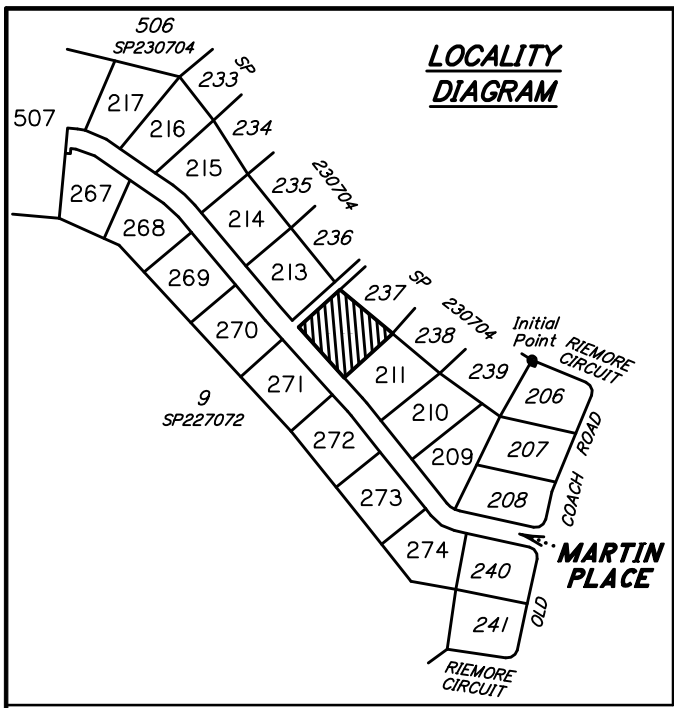
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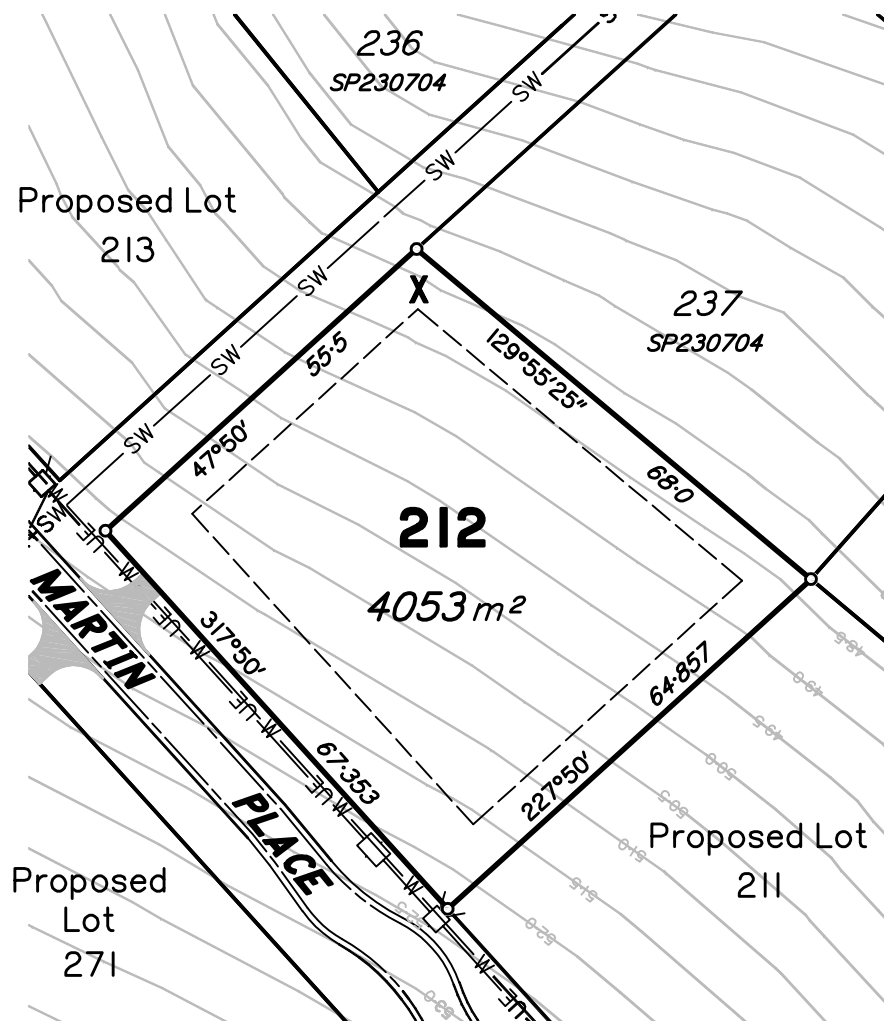
—SW—	STORMWATER
○	STORMWATER MANHOLE
—	STORMWATER GULLYTRAP
—RW—	ROOFWATER
—W—	WATER
⊠	WATER SERVICE
—W—]	WATER END CAP
—C—	WATER CONDUIT
—UE—	UNDERGROUND ELECTRICITY
⊠	ELECTRICAL PILLAR
—T—	TELECOMMUNICATIONS
⊠	TELECOMMUNICATIONS PIT
•	STREET LIGHT
•	STREET SIGN
—	KERB & CHANNEL
---	ROAD CENTRELINE
▨	DRIVEWAY
X	POINT OF COMMENCEMENT
---	BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)





NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **212** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 290°08'35" for a Distance of 202.742m to the Point of Commencement, then on a:
Bearing 129°55'25" for a Distance of 68.0m,
Bearing 227°50' for a Distance of 64.857m,
Bearing 317°50' for a Distance of 67.353m,
Bearing 47°50' for a Distance of 55.5m
to the Point of Commencement.

MAP REF: 9542-42322

NOTES:

Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1:1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

N H Volker & Co Pty Ltd
Consulting Surveyors
Land Development Consultants

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Phone: (07) 5543 8489 Fax: (07) 5543 8490
e-mail: nvolker@bigpond.net.au

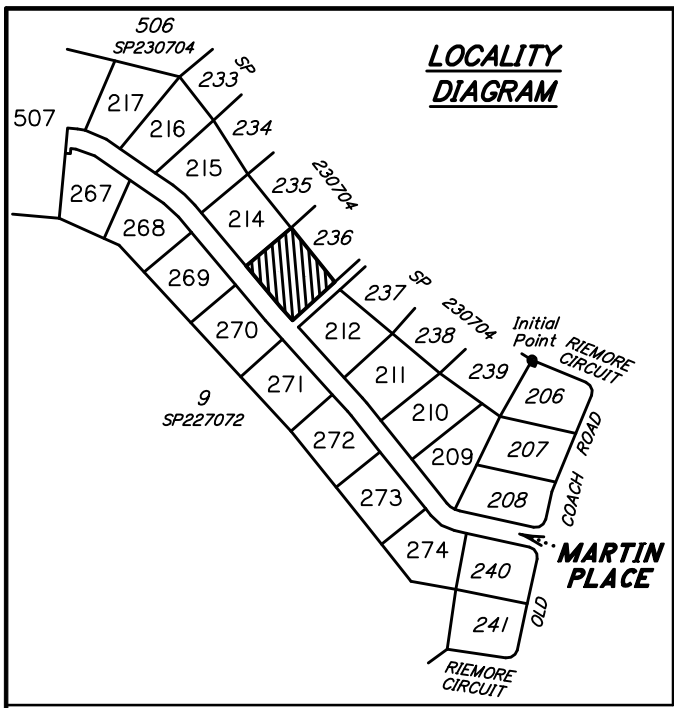
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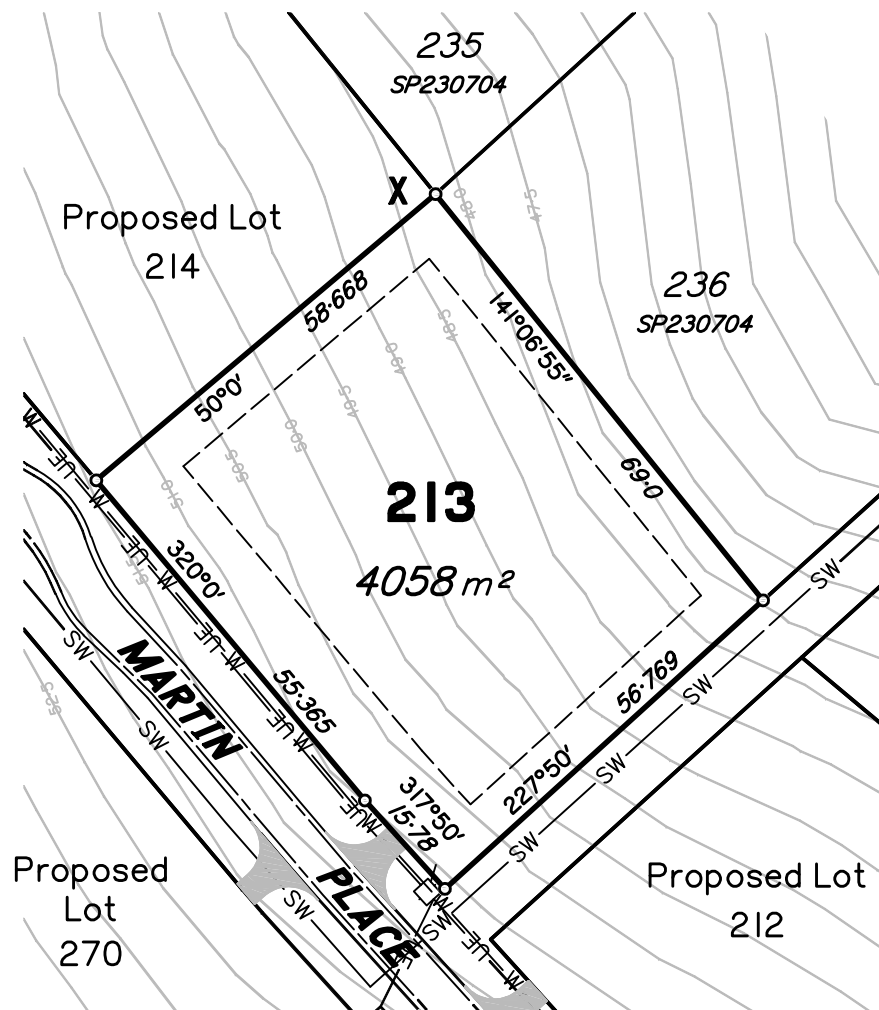
- SW— STORMWATER
- STORMWATER MANHOLE
- W— ROOFWATER
- W— WATER
- ☒ WATER SERVICE
- W—] WATER END CAP
- C— WATER CONDUIT
- UE— UNDERGROUND ELECTRICITY
- E— ELECTRICAL PILLAR
- T— TELECOMMUNICATIONS
- T— TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- ☼ STREET SIGN
- K— KERB & CHANNEL
- R— ROAD CENTRELINE
- D— DRIVEWAY
- X— POINT OF COMMENCEMENT
- B— BUILDING ENVELOPE

Scale 1:1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)





NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **213** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:

From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 298°45'45" for a Distance of 272.359m to the Point of Commencement, then on a:
Bearing 141°06'55" for a Distance of 69.0m,
Bearing 227°50' for a Distance of 56.769m,
Bearing 317°50' for a Distance of 15.78m,
Bearing 320°0' for a Distance of 55.365m,
Bearing 50°0' for a Distance of 58.668m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:

Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

N H Volker & Co Pty Ltd
Consulting Surveyors
Land Development Consultants

PO Box 411, Beenleigh 4207
Phone: (07) 5543 8489 Fax: (07) 5543 8490
e-mail: nvolker@bigpond.net.au

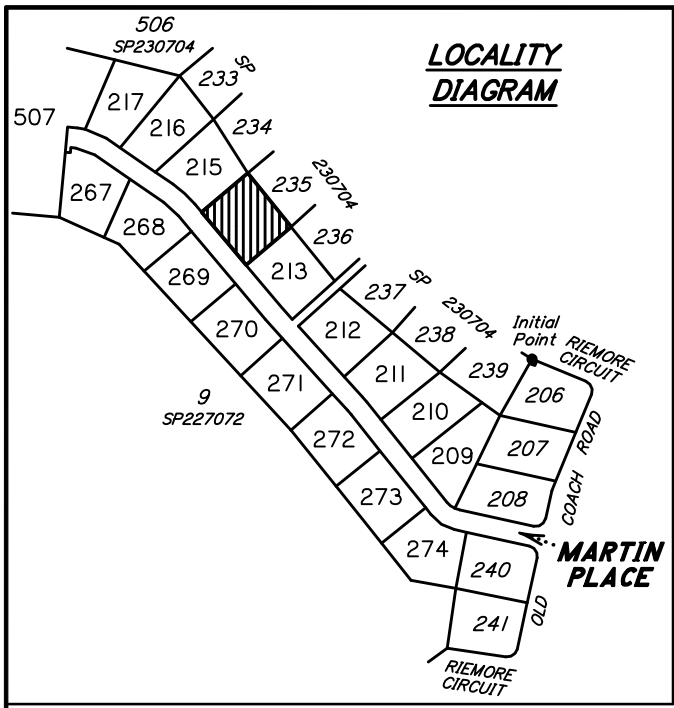
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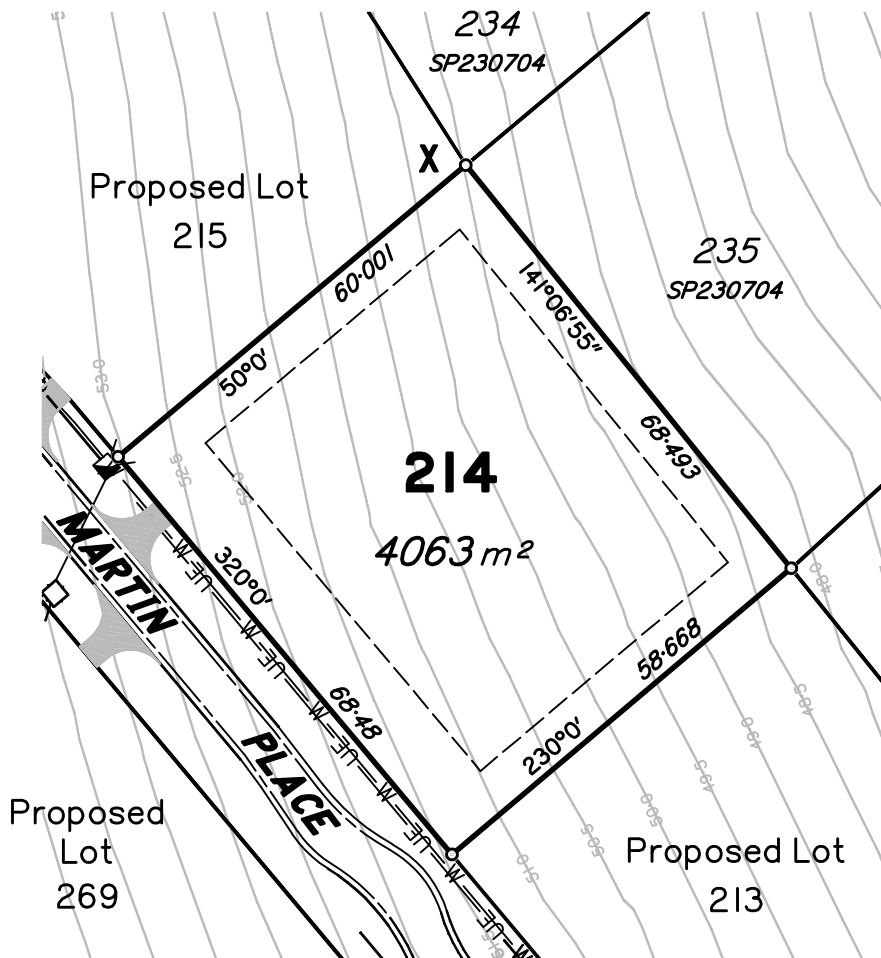
- SW— STORMWATER
- STORMWATER MANHOLE
- W— ROOFWATER
- W— WATER
- ☒ WATER SERVICE
- W—] WATER END CAP
- C— WATER CONDUIT
- UE— UNDERGROUND ELECTRICITY
- ☒ ELECTRICAL PILLAR
- T— TELECOMMUNICATIONS
- ☒ TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- ☼ STREET SIGN
- K— KERB & CHANNEL
- R— ROAD CENTRELINE
- DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)





NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **214** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 303°11'55" for a Distance of 336.715m to the Point of Commencement, then on a:
Bearing 141°06'55" for a Distance of 68.493m,
Bearing 230°0' for a Distance of 58.668m,
Bearing 320°0' for a Distance of 68.48m,
Bearing 50°0' for a Distance of 60.001m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:

Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

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Consulting Surveyors
Land Development Consultants

PO Box 411, Beenleigh 4207
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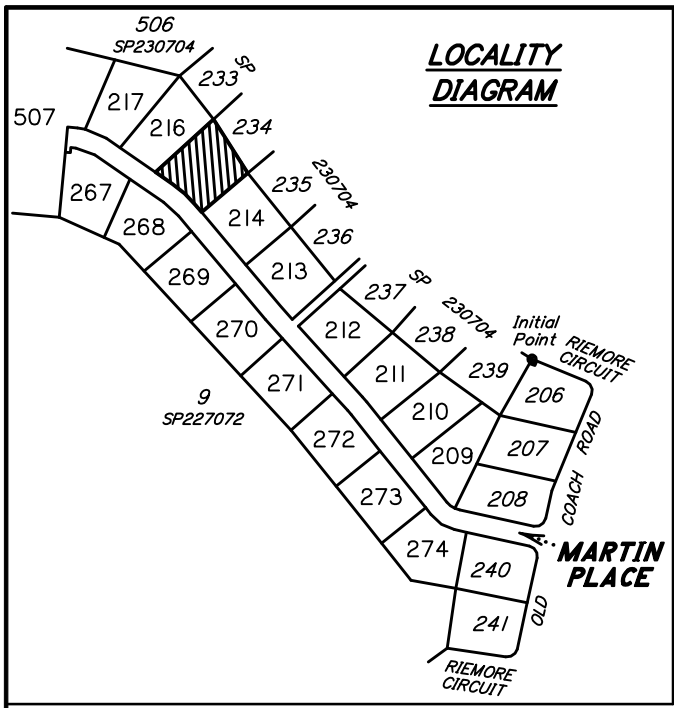
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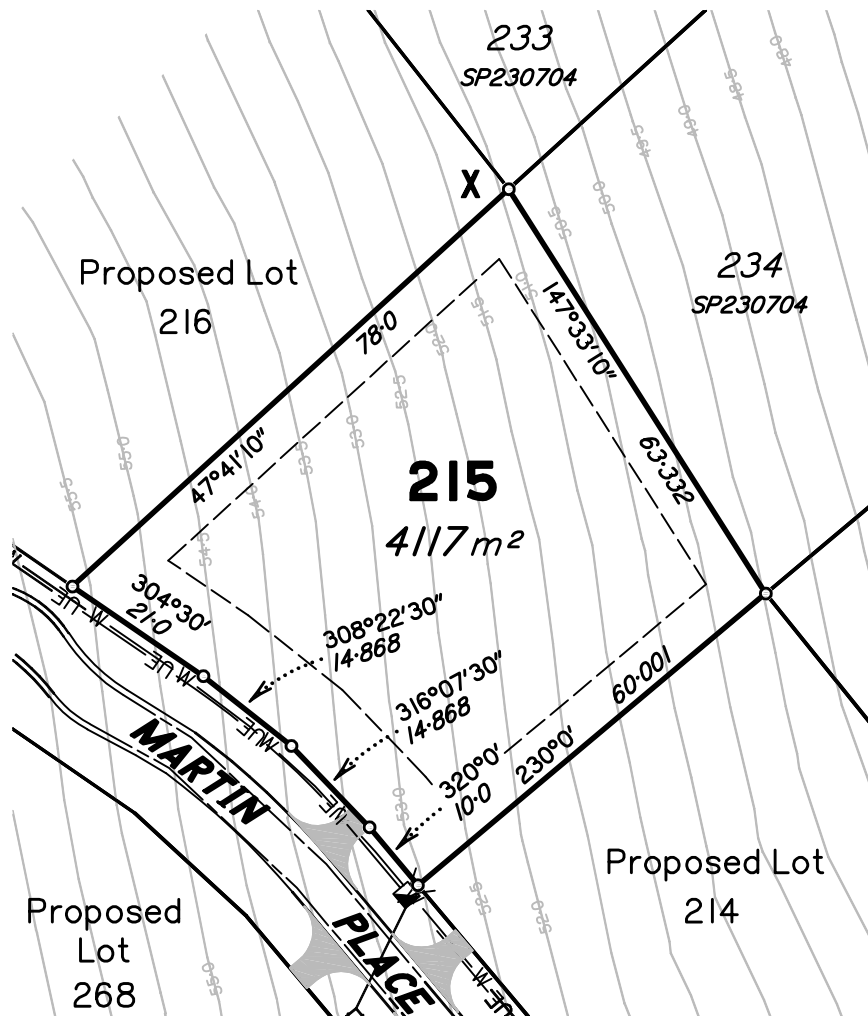
- SW — STORMWATER
- STORMWATER MANHOLE
- RW — ROOFWATER
- W — WATER
- W —] WATER END CAP
- C — WATER CONDUIT
- UE — UNDERGROUND ELECTRICITY
- E — ELECTRICAL PILLAR
- T — TELECOMMUNICATIONS
- T — TELECOMMUNICATIONS PIT
- * — STREET LIGHT
- * — STREET SIGN
- — — KERB & CHANNEL
- — — ROAD CENTRELINE
- — — DRIVEWAY
- X — POINT OF COMMENCEMENT
- — — BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)





NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND

—SW—	STORMWATER
○	STORMWATER MANHOLE
—	STORMWATER GULLYTRAP
—RW—	ROOFWATER
—W—	WATER
⊠	WATER SERVICE
—W—]	WATER END CAP
—C—	WATER CONDUIT
—UE—	UNDERGROUND ELECTRICITY
⊠	ELECTRICAL PILLAR
—T—	TELECOMMUNICATIONS
⊠	TELECOMMUNICATIONS PIT
⊙	STREET LIGHT
⊙	STREET SIGN
—	KERB & CHANNEL
---	ROAD CENTRELINE
▬	DRIVEWAY
X	POINT OF COMMENCEMENT
---	BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **215** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 306°59'15" for a Distance of 395.275m to the Point of Commencement, then on a:
Bearing 147°33'10" for a Distance of 63.332m,
Bearing 230°0' for a Distance of 60.001m,
Bearing 320°0' for a Distance of 10.0m,
Bearing 316°07'30" for a Distance of 14.868m,
Bearing 308°22'30" for a Distance of 14.868m,
Bearing 304°30' for a Distance of 21.0m,
Bearing 47°41'10" for a Distance of 78.0m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

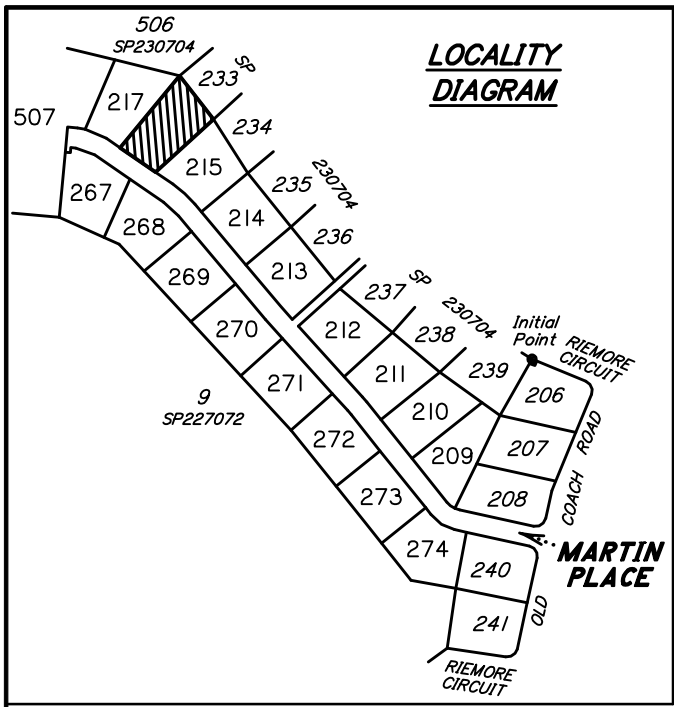
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

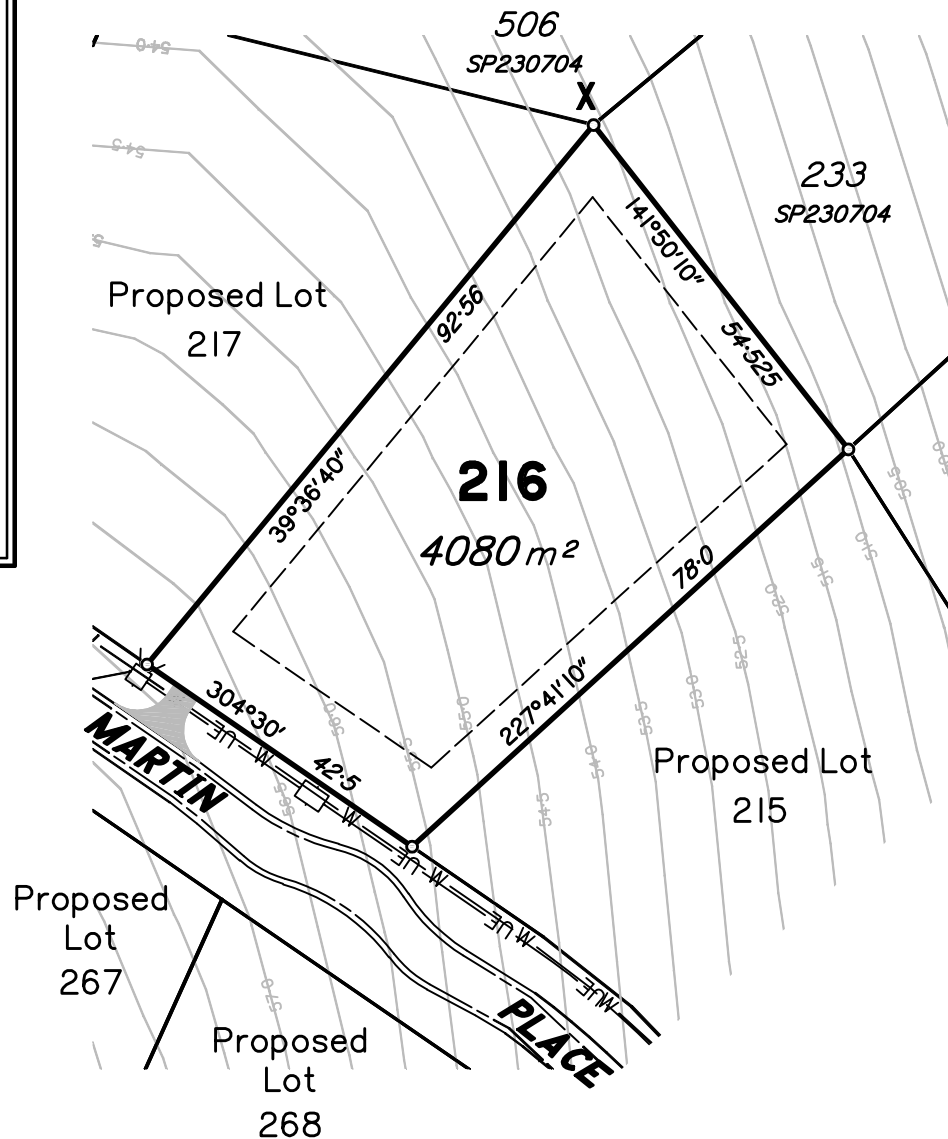
N H Volker & Co Pty Ltd
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Land Development Consultants

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e-mail: nvolker@bigpond.net.au

DWG NO: RIEMORE-ST7A-DP 215



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND

- SW— STORMWATER
- STORMWATER MANHOLE
- W— ROOFWATER
- W— WATER
- ☒ WATER SERVICE
- W—] WATER END CAP
- C— WATER CONDUIT
- UE— UNDERGROUND ELECTRICITY
- ☐ ELECTRICAL PILLAR
- T— TELECOMMUNICATIONS
- ☐ TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- STREET SIGN
- == KERB & CHANNEL
- ROAD CENTRELINE
- █ DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE



Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **216** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Mets and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 308°46'25" for a Distance of 448.197m to the Point of Commencement, then on a:
Bearing 141°50'10" for a Distance of 54.525m,
Bearing 227°41'10" for a Distance of 78.0m,
Bearing 304°30' for a Distance of 42.5m,
Bearing 39°36'40" for a Distance of 92.56m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

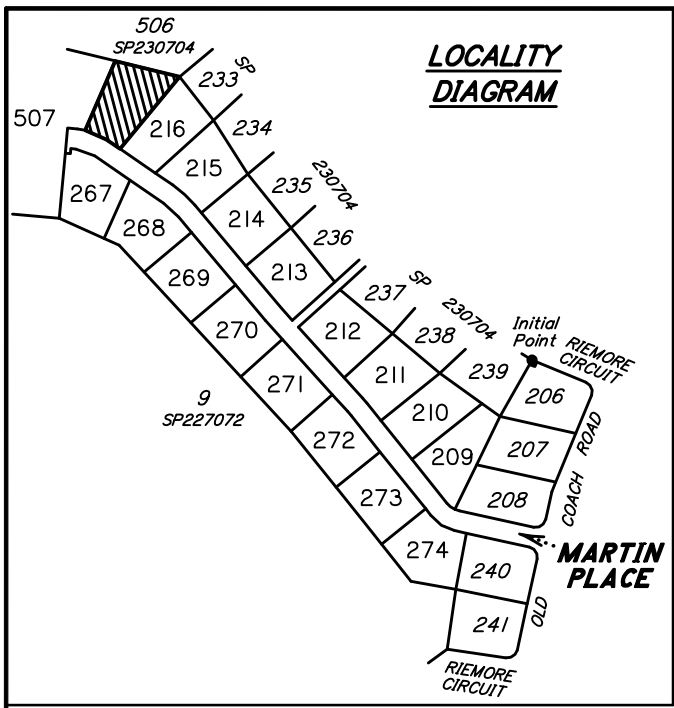
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

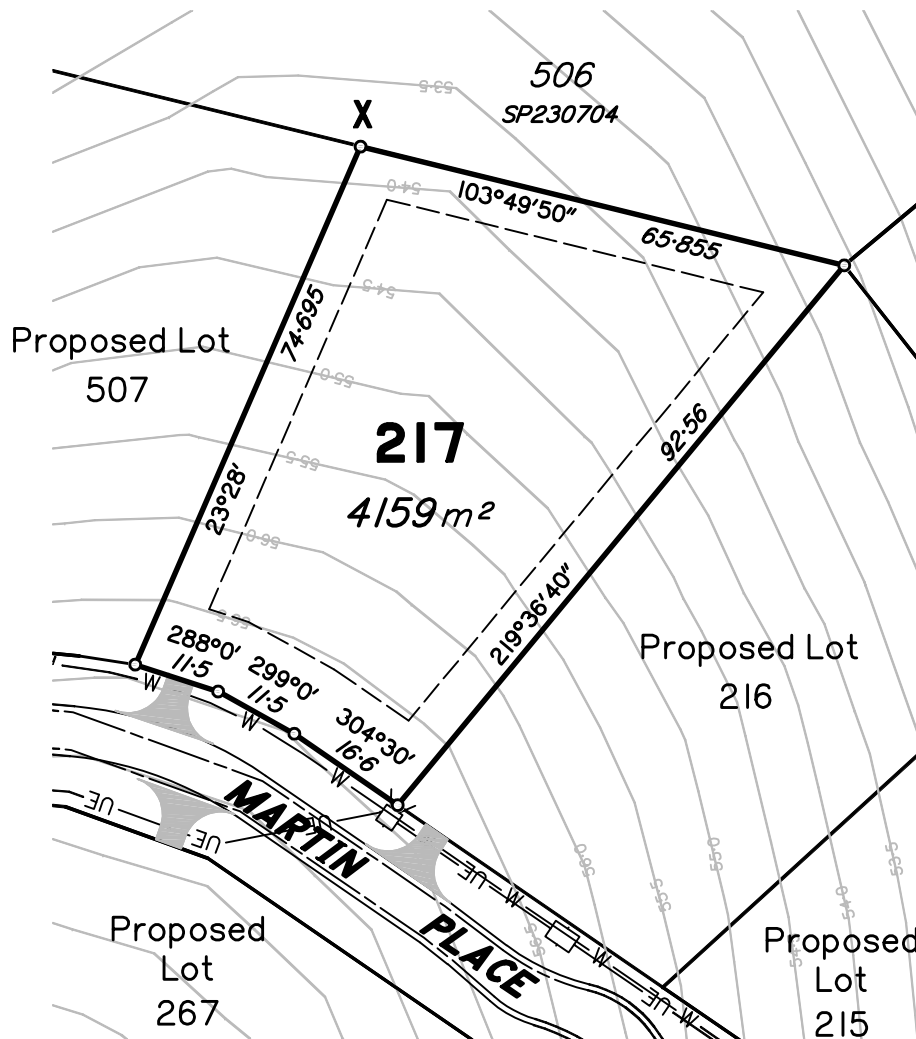
N H Volker & Co Pty Ltd
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Land Development Consultants

PO Box 411, Beenleigh 4207
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e-mail: nvolker@bigpond.net.au

DWG NO: RIEMORE-ST7A-DP 216



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND

- SW— STORMWATER
- STORMWATER MANHOLE
- W— ROOFWATER
- W— WATER
- ☒ WATER SERVICE
- W—] WATER END CAP
- C— WATER CONDUIT
- UE— UNDERGROUND ELECTRICITY
- ☐ ELECTRICAL PILLAR
- T— TELECOMMUNICATIONS
- ☐ TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- ☼ STREET SIGN
- K— KERB & CHANNEL
- R— ROAD CENTRELINE
- DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE



Scale 1:1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **217** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 305°38'40" for a Distance of 508.669m to the Point of Commencement, then on a:
Bearing 103°49'50" for a Distance of 65.855m,
Bearing 219°36'40" for a Distance of 92.56m,
Bearing 304°30' for a Distance of 16.6m,
Bearing 299°0' for a Distance of 11.5m,
Bearing 288°0' for a Distance of 11.5m,
Bearing 23°28' for a Distance of 74.695m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

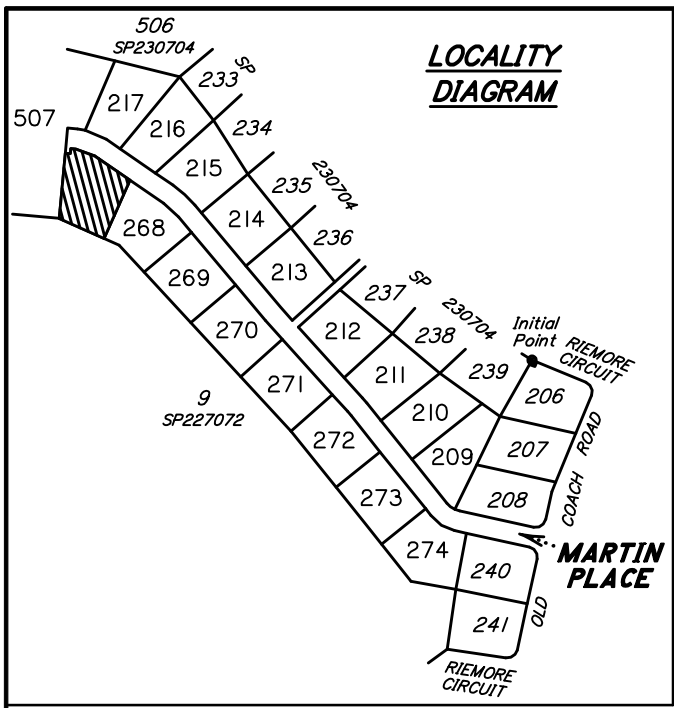
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1:1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

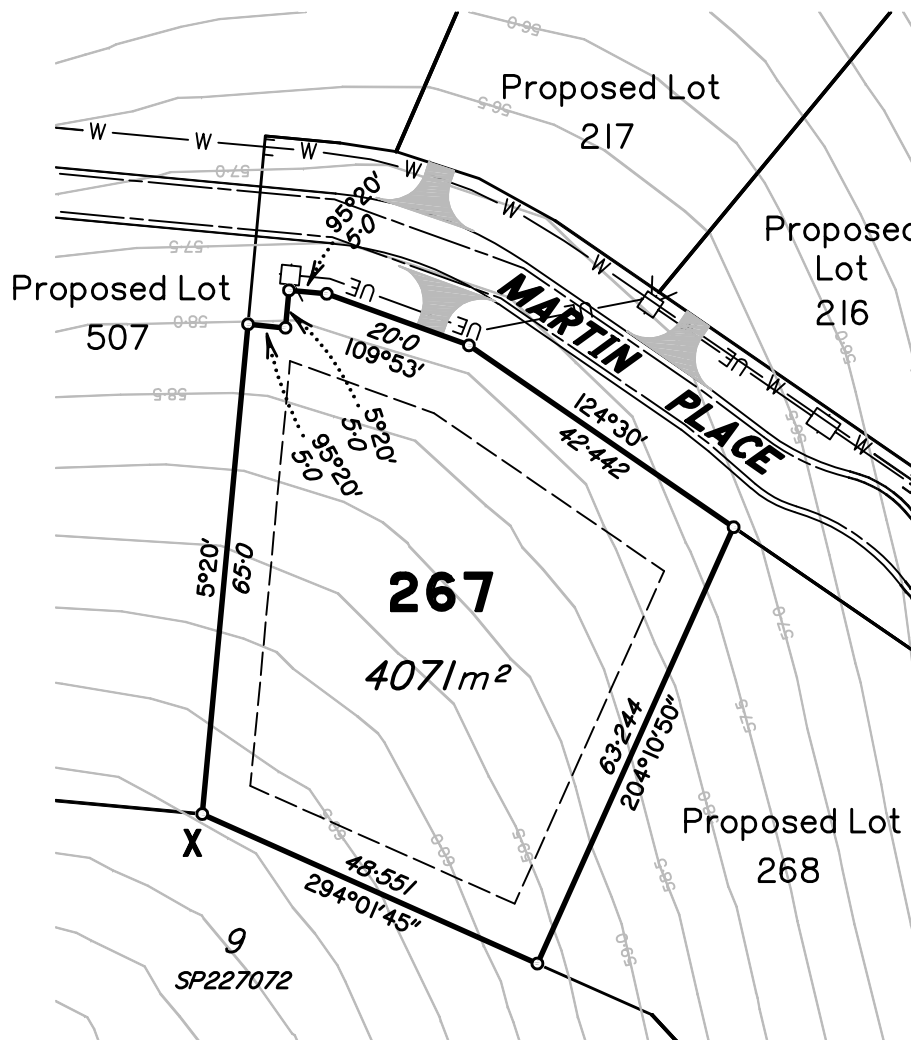
N H Volker & Co Pty Ltd
Consulting Surveyors
Land Development Consultants

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e-mail: nvolker@bigpond.net.au

DWG NO: RIEMORE-ST7A-DP 217



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY

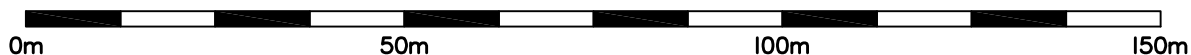


LEGEND

- SW — STORMWATER
- STORMWATER MANHOLE
- RW — ROOFWATER
- W — WATER
- ⊠ WATER SERVICE
- W —] WATER END CAP
- C — WATER CONDUIT
- UE — UNDERGROUND ELECTRICITY
- ⊡ ELECTRICAL PILLAR
- T — TELECOMMUNICATIONS
- ⊡ TELECOMMUNICATIONS PIT
- ⊙ STREET LIGHT
- ⊙ STREET SIGN
- KERB & CHANNEL
- ROAD CENTRELINE
- DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE



Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **267** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 286°40'20" for a Distance of 489.391m to the Point of Commencement, then on a:
Bearing 5°20' for a Distance of 65.0m,
Bearing 95°20' for a Distance of 5.0m,
Bearing 5°20' for a Distance of 5.0m,
Bearing 95°20' for a Distance of 5.0m,
Bearing 109°53' for a Distance of 20.0m,
Bearing 124°30' for a Distance of 42.442m,
Bearing 204°10'50" for a Distance of 63.244m,
Bearing 294°01'45" for a Distance of 45.551m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

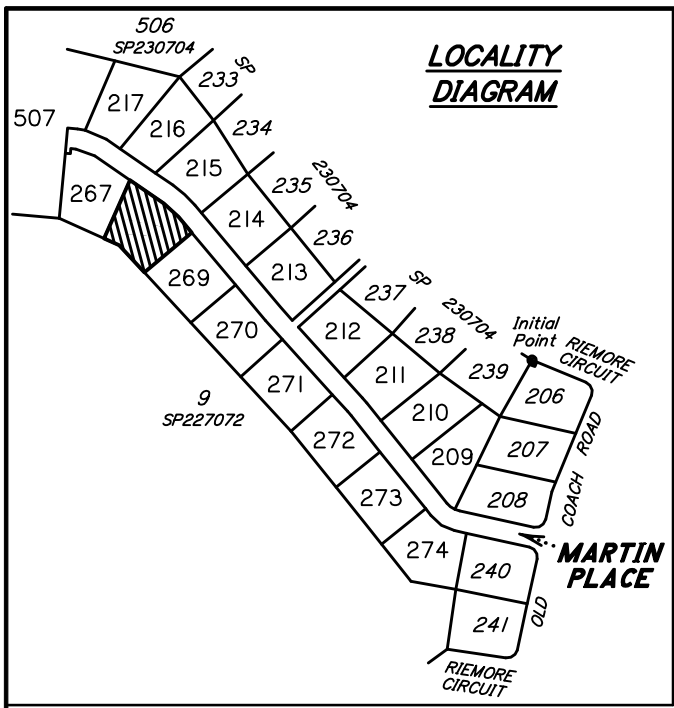
AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

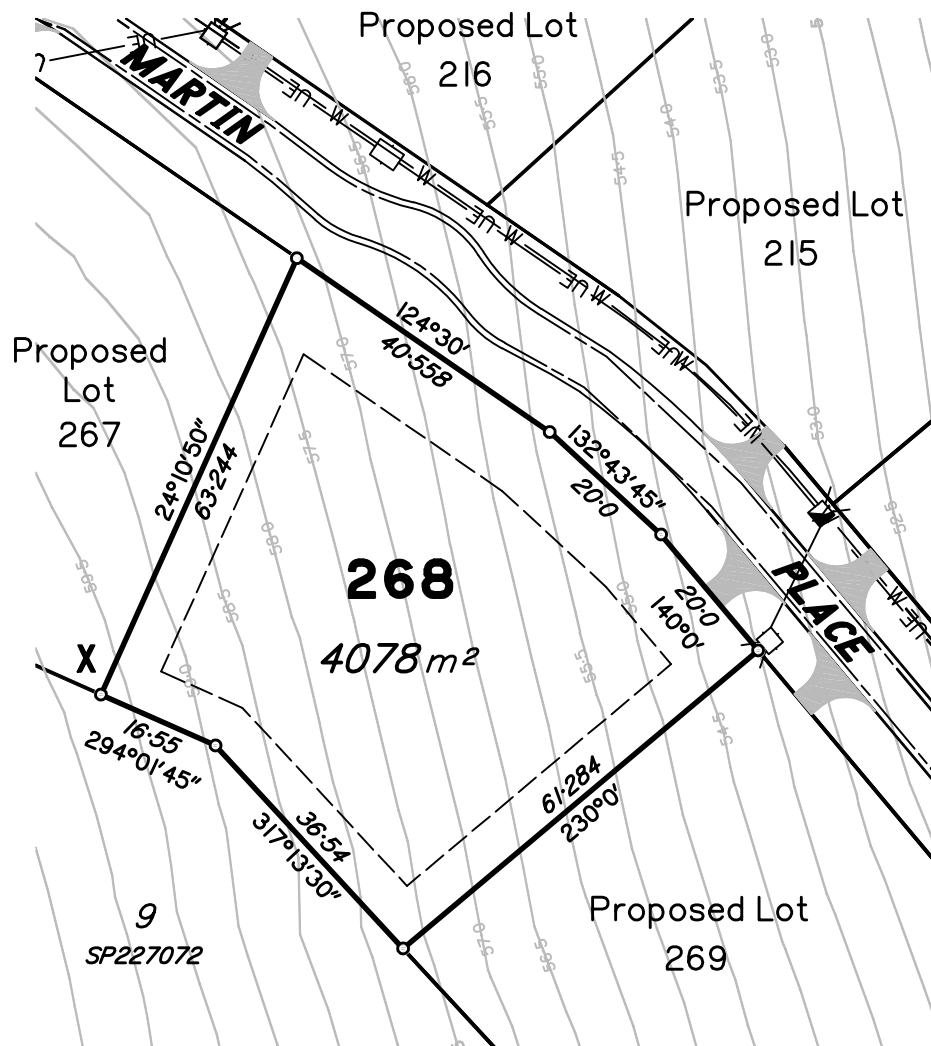
DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

N H Volker & Co Pty Ltd
Consulting Surveyors
Land Development Consultants
PO Box 411, Beenleigh 4207
Phone: (07) 5543 8489 Fax: (07) 5543 8490
e-mail: nvolker@bigpond.net.au

DWG NO: RIEMORE-ST7A-DP 267



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND

- SW — STORMWATER
- STORMWATER MANHOLE
- RW — ROOFWATER
- W — WATER
- ⊠ WATER SERVICE
- W —] WATER END CAP
- C — WATER CONDUIT
- UE — UNDERGROUND ELECTRICITY
- ⊠ ELECTRICAL PILLAR
- T — TELECOMMUNICATIONS
- ⊠ TELECOMMUNICATIONS PIT
- STREET LIGHT
- STREET SIGN
- KERB & CHANNEL
- ROAD CENTRELINE
- DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE



Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **268** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 285°51'50" for a Distance of 441.283m to the Point of Commencement, then on a:
Bearing 24°10'50" for a Distance of 63.244m,
Bearing 124°30' for a Distance of 40.558m,
Bearing 132°43'45" for a Distance of 20.0m,
Bearing 140°0' for a Distance of 20.0m,
Bearing 230°0' for a Distance of 61.284m,
Bearing 317°13'30" for a Distance of 36.54m,
Bearing 294°01'45" for a Distance of 16.55m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

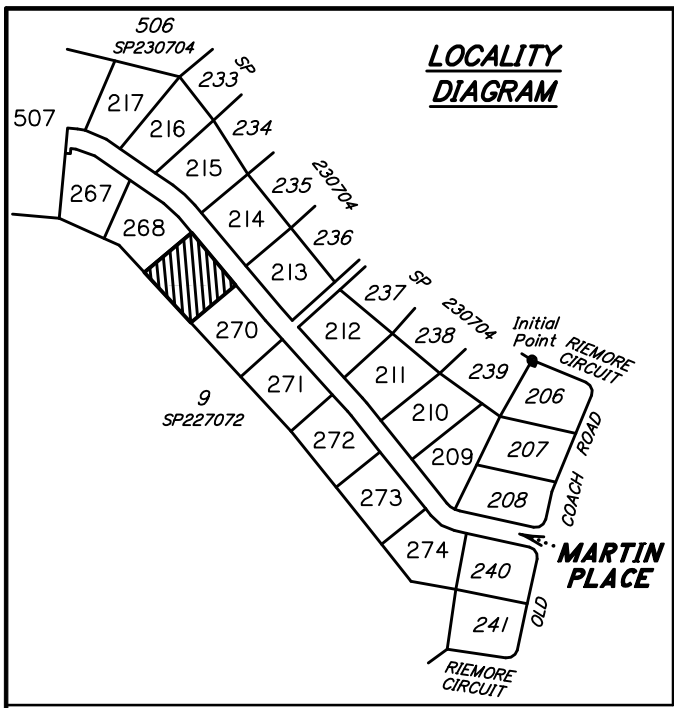
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

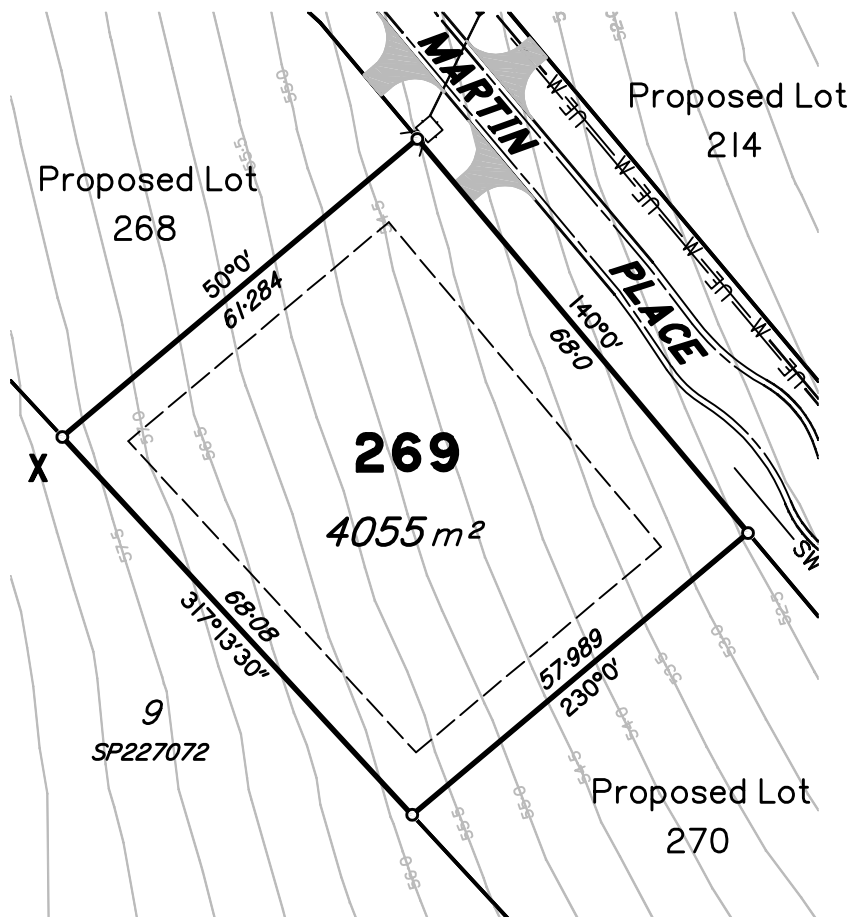
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DWG NO: RIEMORE-ST7A-DP 268



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **269** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 282°45'30" for a Distance of 394.279m to the Point of Commencement, then on a:
Bearing 50°0' for a Distance of 61.284m,
Bearing 140°0' for a Distance of 68.0m,
Bearing 230°0' for a Distance of 57.989m,
Bearing 317°13'30" for a Distance of 68.08m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

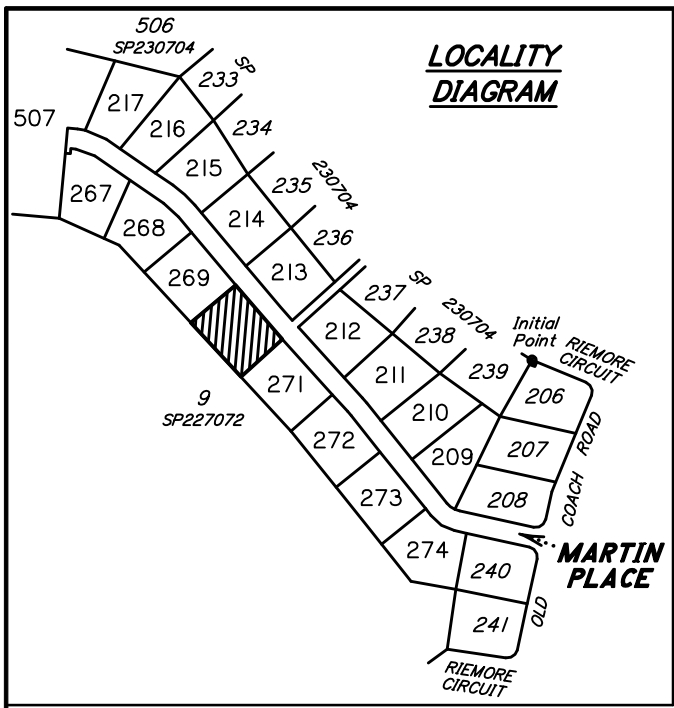
DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

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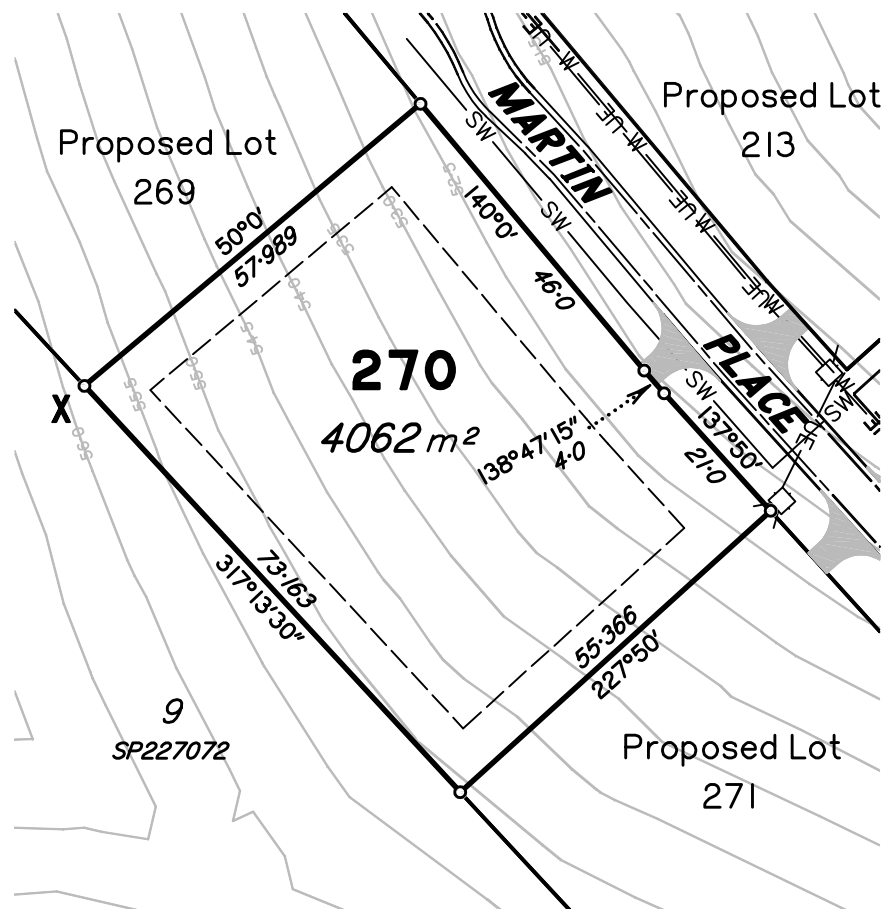
DWG NO: RIEMORE-ST7A-DP 269

LEGEND

—SW—	STORMWATER
○	STORMWATER MANHOLE
—	STORMWATER GULLYTRAP
—RW—	ROOFWATER
—W—	WATER
—W—	WATER SERVICE
—W—	WATER END CAP
—C—	WATER CONDUIT
—UE—	UNDERGROUND ELECTRICITY
—E—	ELECTRICAL PILL



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND

- SW — STORMWATER
- STORMWATER MANHOLE
- RW — ROOFWATER
- W — WATER
- ☒ WATER SERVICE
- W —] WATER END CAP
- C — WATER CONDUIT
- UE — UNDERGROUND ELECTRICITY
- ⌈ E ⌋ ELECTRICAL PILLAR
- T — TELECOMMUNICATIONS
- ⌈ T ⌋ TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- STREET SIGN
- == KERB & CHANNEL
- - - ROAD CENTRELINE
- DRIVEWAY
- X POINT OF COMMENCEMENT
- - - - BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **270** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 276°15'30" for a Distance of 340.339m to the Point of Commencement, then on a:
Bearing 50°0' for a Distance of 57.989m,
Bearing 140°0' for a Distance of 46.0m,
Bearing 138°47'15" for a Distance of 4.0m,
Bearing 137°50' for a Distance of 21.0m,
Bearing 227°50' for a Distance of 55.366m,
Bearing 317°13'30" for a Distance of 73.163m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

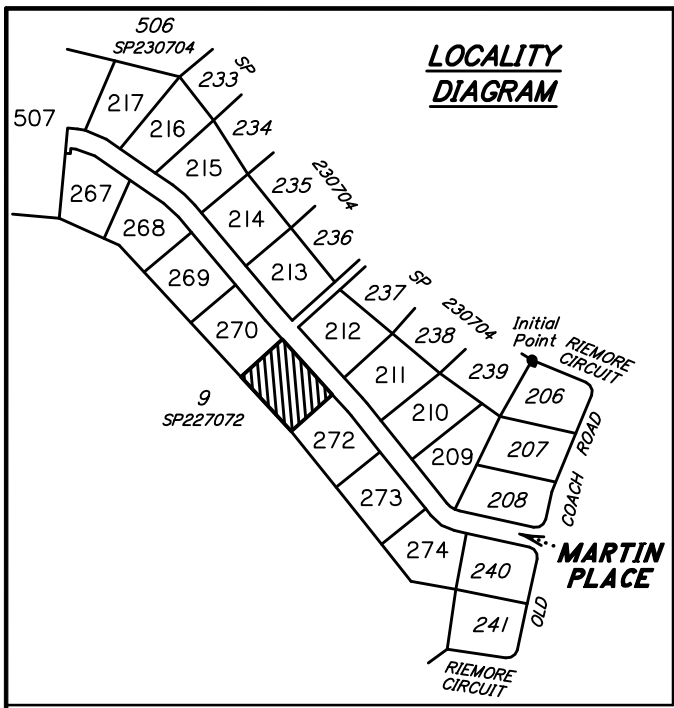
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

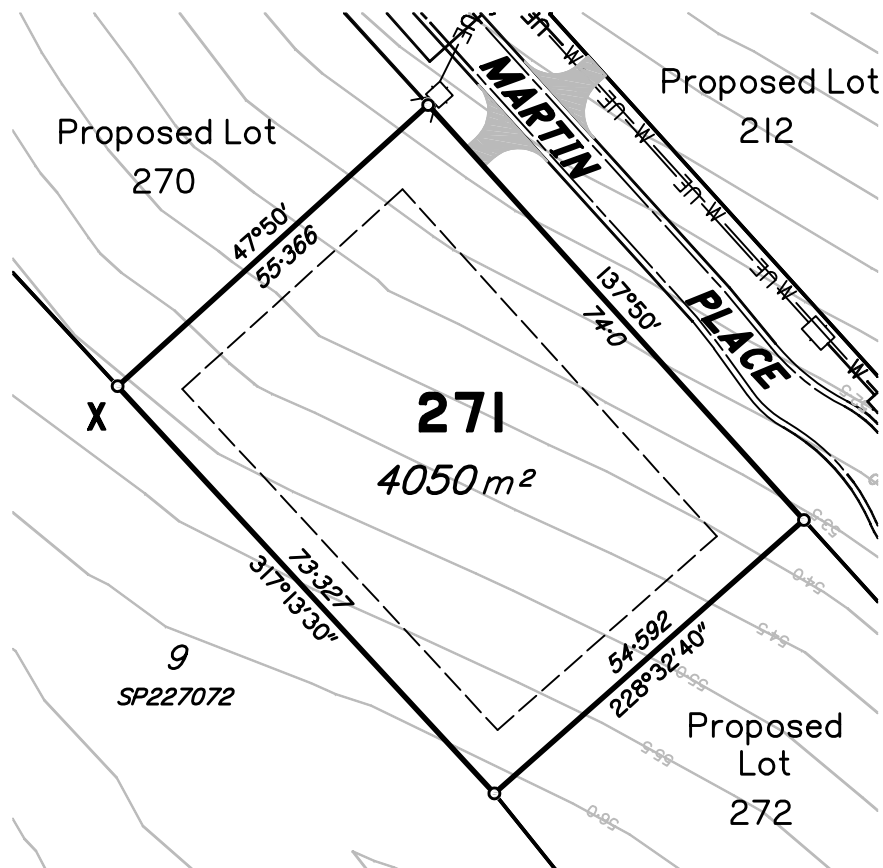
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DWG NO: RIEMORE-ST7A-DP 270



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **271** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD

Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 266°42'25" for a Distance of 289.103m to the Point of Commencement, then on a:
Bearing 47°50' for a Distance of 55.366m,
Bearing 137°50' for a Distance of 74.0m,
Bearing 228°32'40" for a Distance of 54.592m,
Bearing 317°13'30" for a Distance of 73.327 to the Point of Commencement.

MAP REF: 9542-42322

NOTES:

Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

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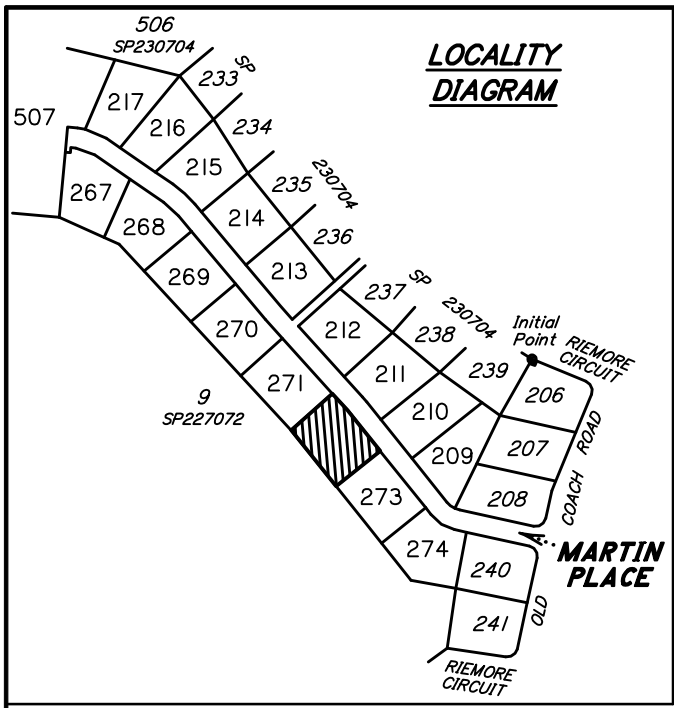
DWG NO: RIEMORE-ST7A-DP 271

LEGEND

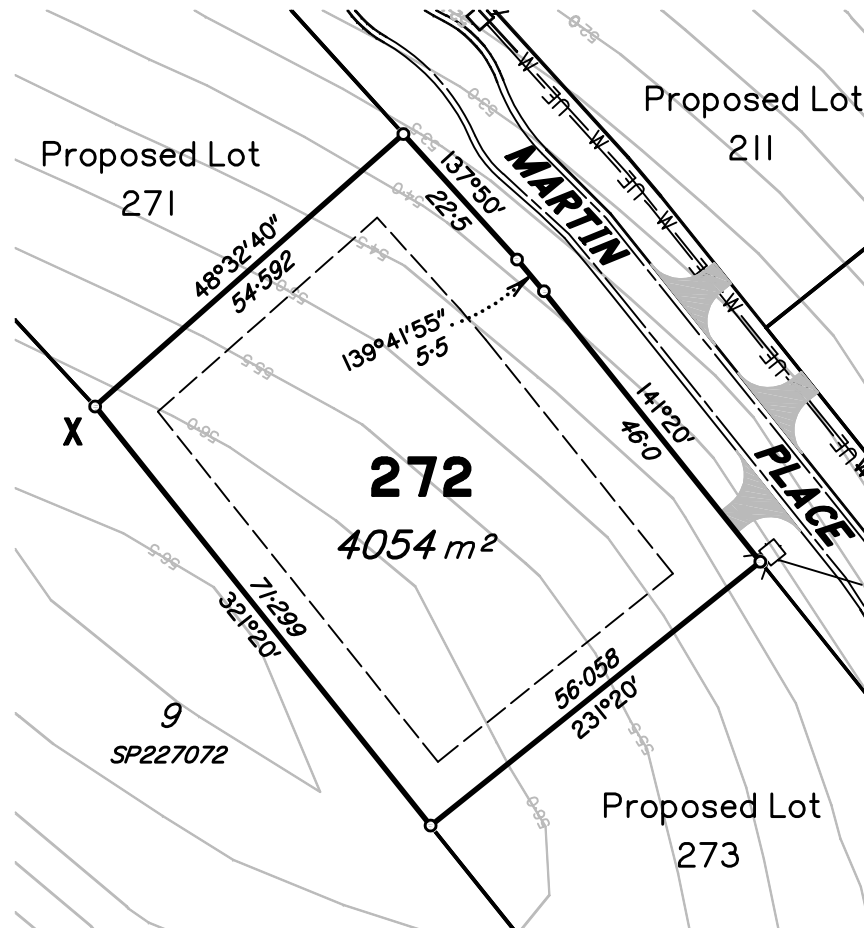
—SW—	STORMWATER
○	STORMWATER MANHOLE
—	STORMWATER GULLYTRAP
—RW—	ROOFWATER
—W—	WATER
⊠	WATER SERVICE
—W—]	WATER END CAP
—C—	WATER CONDUIT
—UE—	UNDERGROUND ELECTRICITY
⊠	ELECTRICAL PILLAR
—T—	TELECOMMUNICATIONS
⊠	TELECOMMUNICATIONS PIT
•	STREET LIGHT
•	STREET SIGN
—	KERB & CHANNEL
---	ROAD CENTRELINE
▨	DRIVEWAY
X	POINT OF COMMENCEMENT
---	BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)





NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND	
—SW—	STORMWATER
○	STORMWATER MANHOLE
	STORMWATER GULLYTRAP
—RW—	ROOFWATER
—W—	WATER
	WATER SERVICE
—W—]	WATER END CAP
—C—	WATER CONDUIT
—UE—	UNDERGROUND ELECTRICITY
	ELECTRICAL PILLAR
—T—	TELECOMMUNICATIONS
	TELECOMMUNICATIONS PIT
	STREET LIGHT
	STREET SIGN
	KERB & CHANNEL
	ROAD CENTRELINE
	DRIVEWAY
X	POINT OF COMMENCEMENT
----	BUILDING ENVELOPE

Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **272** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 253°34'10" for a Distance of 248.997m to the Point of Commencement, then on a:
Bearing 48°32'40" for a Distance of 54.592m,
Bearing 137°50' for a Distance of 22.5m,
Bearing 139°41'55" for a Distance of 5.5m,
Bearing 141°20' for a Distance of 46.0m,
Bearing 231°20' for a Distance of 56.058m,
Bearing 321°20' for a Distance of 71.299m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:

Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

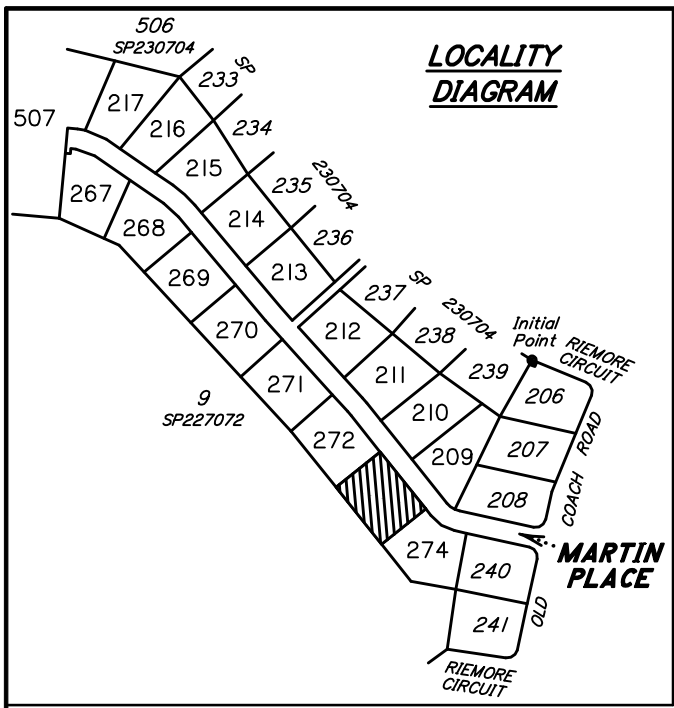
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

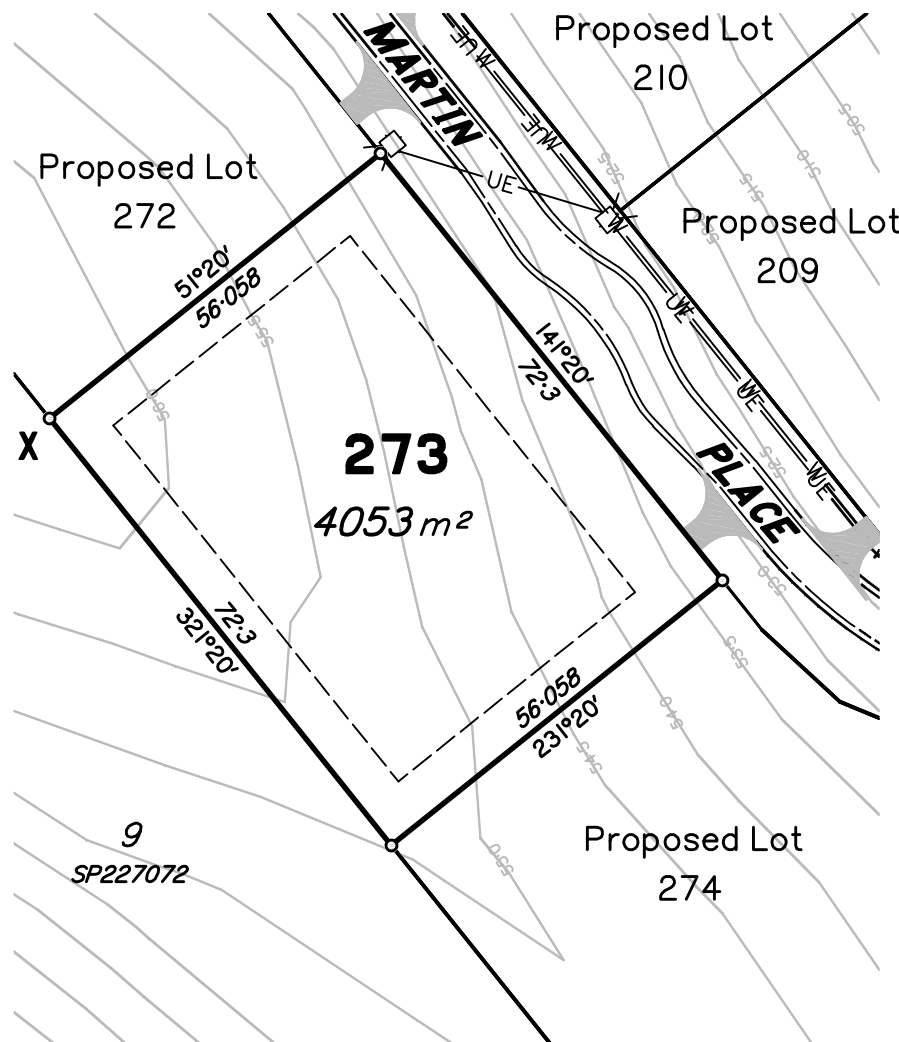
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DWG NO: RIEMORE-ST7A-DP 272



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



LEGEND

- SW — STORMWATER
- STORMWATER MANHOLE
- RW — ROOFWATER
- W — WATER
- ☒ WATER SERVICE
- W —] WATER END CAP
- C — WATER CONDUIT
- UE — UNDERGROUND ELECTRICITY
- ☐ ELECTRICAL PILLAR
- T — TELECOMMUNICATIONS
- ☐ TELECOMMUNICATIONS PIT
- ☼ STREET LIGHT
- STREET SIGN
- == KERB & CHANNEL
- ROAD CENTRELINE
- █ DRIVEWAY
- X POINT OF COMMENCEMENT
- BUILDING ENVELOPE



Scale 1 : 1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)



DISCLOSURE PLAN

For Lot **273** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 237°00'50" for a Distance of 231.619m to the Point of Commencement, then on a:
Bearing 51°20' for a Distance of 56.058m,
Bearing 141°20' for a Distance of 72.3m,
Bearing 231°20' for a Distance of 56.058m,
Bearing 321°20' for a Distance of 72.3m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

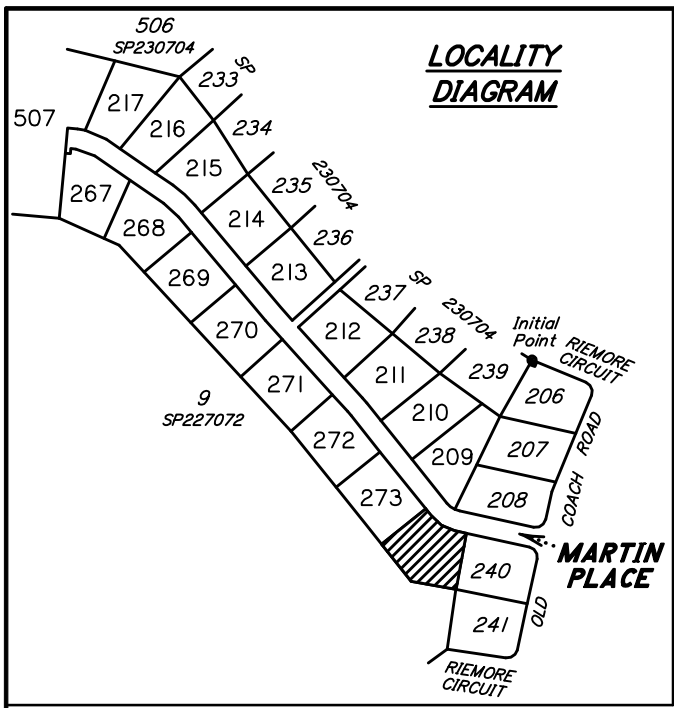
Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1 : 1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

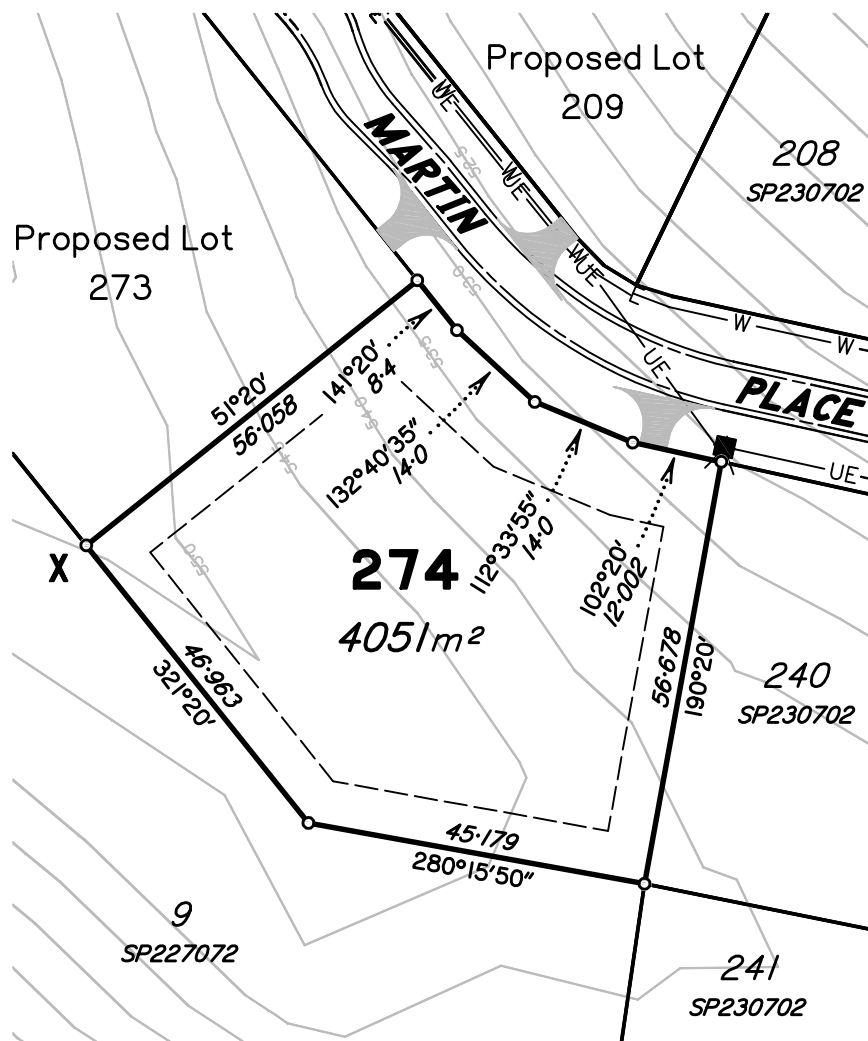
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DWG NO: RIEMORE-ST7A-DP 273



NOTE: TYPICAL BUILDING ENVELOPE
10m OFFSET FROM FRONT BOUNDARY
6m OFFSET FROM SIDE AND REAR BOUNDARY



DISCLOSURE PLAN

For Lot **274** (on SP230705)
MARTIN PLACE
TAMBORINE -RIEMORE- (Stage 7A)
QLD
Described as Part of Lot 7 on SP227072

Parish of TAMBORINE, County of Ward.
Local Authority: SCENIC RIM R.C.

Metes and Bounds:
From the Initial Point being the North West corner of Lot 206 on SP230702, thence a Bearing of 219°14'30" for a Distance of 235.711m to the Point of Commencement, then on a:
Bearing 51°20' for a Distance of 56.058m,
Bearing 141°20' for a Distance of 8.4m,
Bearing 132°40'35" for a Distance of 14.0m,
Bearing 112°33'55" for a Distance of 14.0m,
Bearing 102°20' for a Distance of 12.0m,
Bearing 190°20' for a Distance of 56.678m,
Bearing 280°15'50" for a Distance of 45.179m,
Bearing 321°20' for a Distance of 46.963m to the Point of Commencement.

MAP REF: 9542-42322

NOTES:
Areas and Dimensions are subject to plan registration.
Proposed surface information is derived from digital data provided by REF:

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor: N H Volker & Co Pty Ltd

DATE 12/08/2014	SURVEYED NHV
SCALE 1:1000 (A4)	DRAWN BD13470
LEVEL DATUM A.H.D	CHECKED NHV

N H Volker & Co Pty Ltd
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Land Development Consultants

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DWG NO: RIEMORE-ST7A-DP 274

LEGEND

—SW—	STORMWATER
○	STORMWATER MANHOLE
—	STORMWATER GULLYTRAP
—RW—	ROOFWATER
—W—	WATER
—W—]	WATER END CAP
—C—	WATER CONDUIT
—UE—	UNDERGROUND ELECTRICITY
[E]	ELECTRICAL PILLAR
—T—	TELECOMMUNICATIONS
[T]	TELECOMMUNICATIONS PIT
•	STREET LIGHT
•	STREET SIGN
—	KERB & CHANNEL
---	ROAD CENTRELINE
■	DRIVEWAY
X	POINT OF COMMENCEMENT
---	BUILDING ENVELOPE

Scale 1:1000 (at A4) (NB: using "Fit to Paper" option when printing may distort scale)

